



Schmitt Design, LLC
Heidi Schmitt
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Van Amen Residence
2428 W. Lake Sammamish Pkwy SE
Parkway SE
Bellevue, WA 98008

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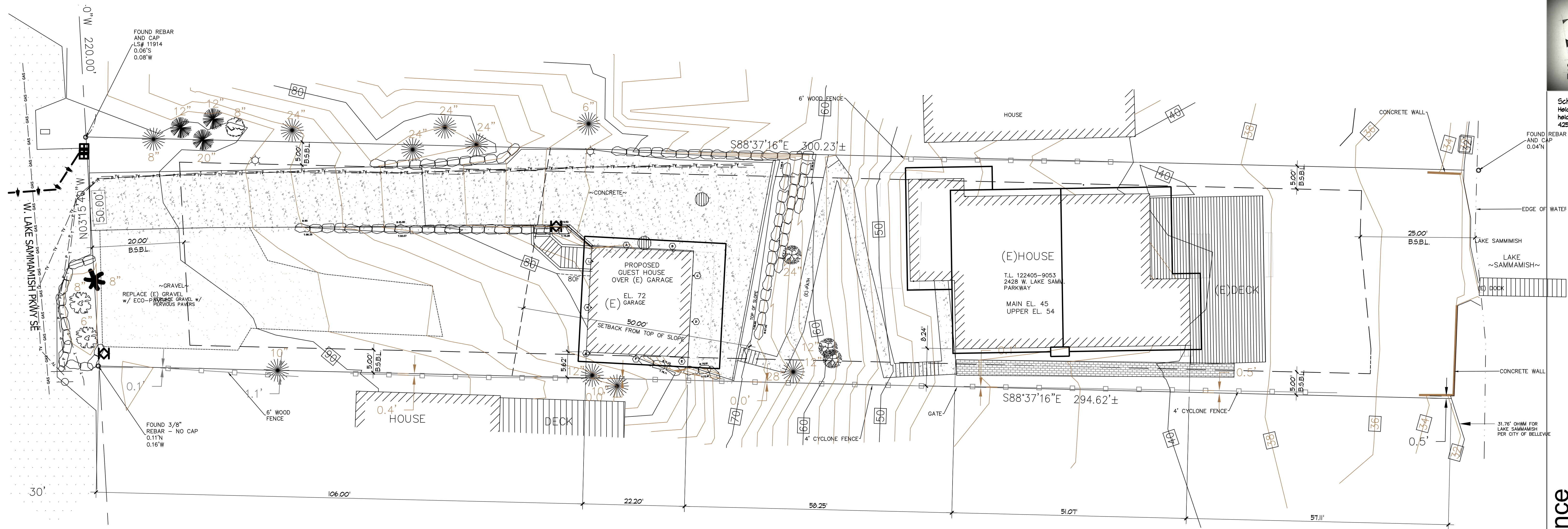
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Issued Date
Permit Plans 3/31/17

17-011

1

SITE PLAN



LEGEND	
	WATER METER
	WATER SPIGOT
	"NO PARKING" SIGN
	UTILITY POLE
	LIGHT POLE
	YARD DRAIN
	MAILBOX
	FIR TREE
	MAPLE TREE
	PINE TREE
	CEDAR TREE
	ALDER TREE
	MADRONA TREE
	WATER LINE
	POWER LINE
	TELEPHONE LINE
	CABLE TV LINE
	GAS LINE

BUILDING HT. CALC. GARAGE	
MID-POINT MARK	MID-POINT ELEVATIONS
(A)	T2
(B)	T2
(C)	T2
(D)	T2
(E)	T2
(F)	T2
(G)	T2
(H)	T2
(I)	T2
TOTAL = 611 / 4 = 152.25 AVE. FIN. GRADE	
152.2' ± 35' = 110.2' MAXIMUM RIDGE ELEV.	
PROPOSED RIDGE ELEVATION = 90.25'	

SQUARE FOOTAGES	
EXISTING GARAGE	506 S.F.
GARAGE UPPER FLOOR LIVING SPACE	610 S.F.

LOT COVERAGE by STRUCTURE	
BUILDING FOOTPRINT (HOUSE + GARAGE 610)	2,375 S.F.
FRONT PORCH 148 + 743 DECK	896 S.F.
TOTAL	3,261 S.F.
GROSS LOT AREA	15,250 S.F.
PERCENTAGE OF LOT COVERAGE	21 %
MAX. PERCENTAGE ALLOWED (53315)	35 %

IMPERVIOUS SURFACE COVERAGE	
ALL ROOFS (INCL. EAVES) (2070 + 824 garage)	2,894 S.F.
DRIVEWAY	2,276 S.F.
200 Lower walkway to deck + 347 Upper walk to house	547 S.F.
NEW WALKWAY TO GUEST HOUSE	71 S.F.
TOTAL	5,788 S.F.
GROSS LOT AREA	15,250 S.F.
PERCENTAGE LOT COVERAGE	38 %
MAX. PERCENTAGE ALLOWED	50 %

FAR CALCULATIONS	
MAIN FLOOR HOUSE ENCLOSED S.F.	1,639 S.F.
UPPER FLOOR HOUSE ENCLOSED S.F.	1,421 S.F.
MAIN FLOOR GARAGE ENCLOSED S.F.	464 S.F.
UPPER FLOOR GARAGE ENCLOSED S.F.	564 S.F.
TOTAL ENCLOSED S.F. (FROM INSIDE EXT. WALLS)	4,088 S.F.
GROSS LOT AREA	15,250 S.F.
PERCENTAGE LOT COVERAGE	27 %
MAX. PERCENTAGE ALLOWED	50 %

GREENSCAPE IN FRONT SETBACK	
TOTAL AREA OF FRONT SETBACK	1,000 S.F.
HARDSCAPE	244 S.F.
GREENSCAPE	756 S.F.
PERCENTAGE OF GREENSCAPE IN FRONT SETBACK	75%
MIN. PERCENTAGE REQUIRED	50%

ENERGY CODE SUMMARY	
HEATING SYSTEM TYPE	ELEC. WALL MT. HEAT PUMPS
CONDITIONED VOLUME	564
GLAZING AREA	222
GLAZING U-FACTOR	VERTICAL 0.28
OVERHEAD	0.50
DOOR U-FACTOR	0.28
CEILINGS	W/ ATTICS R-44
VAULTED	R-30
WALLS	ABOVE GRADE R-21
BELOW GRADE	INT. R-21 EXT. R-10
SLAB ON GRADE	R-10
FLOOR	R-36
FROM TABLE R402.1 2015 WSEC CLIMATE ZONE 5	
R406- ADDITIONAL ENERGY EFFICIENCY CREDITS REQUIRED	
SMALL DWELLING (1500 S.F. ± 15	
MEDIUM DWELLING (1500/5000 S.F. ± 3.5	
LARGE DWELLING (15000 S.F. ± 4.5	
CREDITS PROVIDED	
1a EFFICIENT BUILDING ENVELOPE U=0.28 FLOOR R-36	0.5
3d DUCTLESS SPLIT SYSTEM HEAT PUMP	1.0
TOTAL	
1.5	

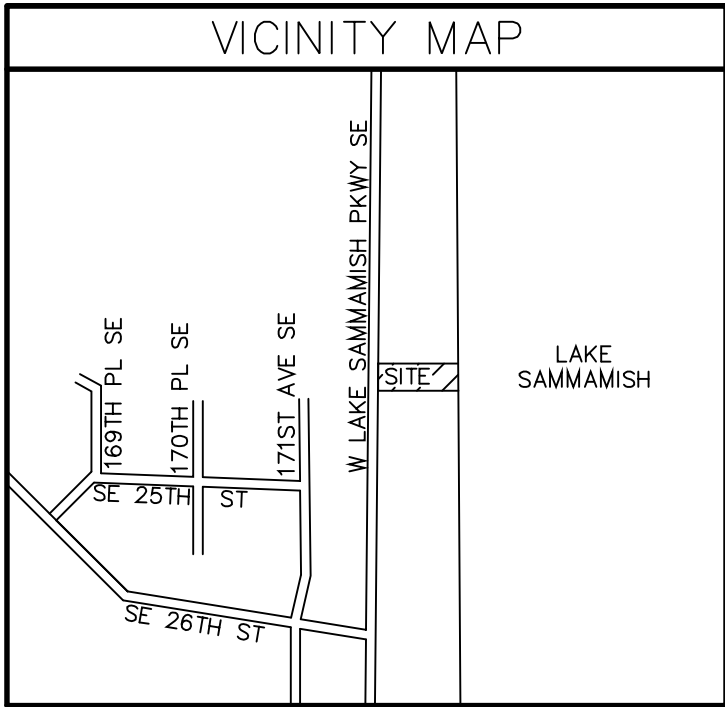
LUMBER STRENGTHS	
FRAMING MEMBER TYPE	Fb Fv E
JOISTS AND RAFTERS (HEM-FIR #2)	850 150 1.3
BEAMS & HEADERS (4" NOM. D.F. #2)	900 180 1.6
BEAMS & HEADERS (6" NOM. D.F. #1)	1350 170 1.6
LAMINATED STRAND LUMBER (LSL)	2600 400 1.7
LAMINATED VENEER LUMBER (LVL)	2600 285 1.9
PARALLEL STRAND LUMBER (PSL)	2400 290 2.0
GLU-LAMINATED TIMBERS	2400 240 1.8
POSTS	
4" NOM. D.F. #1	1000 180 1.7
6" NOM. D.F. #1	1200 170 1.6
2x STUDS H.F. "STUD"	675 150 1.2
APA RATED SHEATHING	EXPOSURE SPAN RATINGS
ROOF	EXTERIOR 32/16
WALL	EXTERIOR 24/0
FLOOR (T&G)	EXTERIOR 48/24

LOADING & DEFLECTION	
TYPE OF CONSTRUCTION	LIVE DEAD TOTAL LIVE TOTAL
ROOF (STICK) (COMB)	25 10 35 L/240 L/240
ROOF (TRUSSES) (COMB)	25 15 40 L/240 L/240
CEILING (ATTIC ABOVE)	10 5 15 L/240 L/240
FLOOR	40 10 50 L/480 L/360
DECK (SPACED WOOD)	60 10 70 L/480 L/360
EXTERIOR WALL	- 10 10 - -
INTERIOR WALL	- 10 10 - -

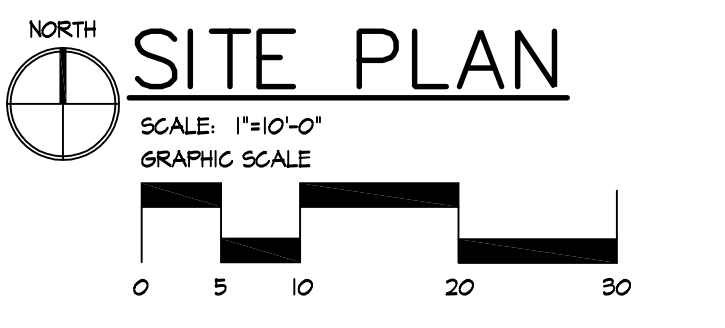
CODES	
THIS DESIGN IS IN ACCORDANCE WITH THE FOLLOWING CODES AS AMENDED BY THE WASHINGTON STATE BUILDING CODE:	
2015 INTERNATIONAL RESIDENTIAL CODE	
2015 INTERNATIONAL MECHANICAL CODE	
2015 NATIONAL PLUMBING CODE	
2015 WASHINGTON STATE ENERGY CODE	
2015 WASHINGTON STATE VENTILATION & INDOOR AIR QUALITY CODE	
2015 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION	

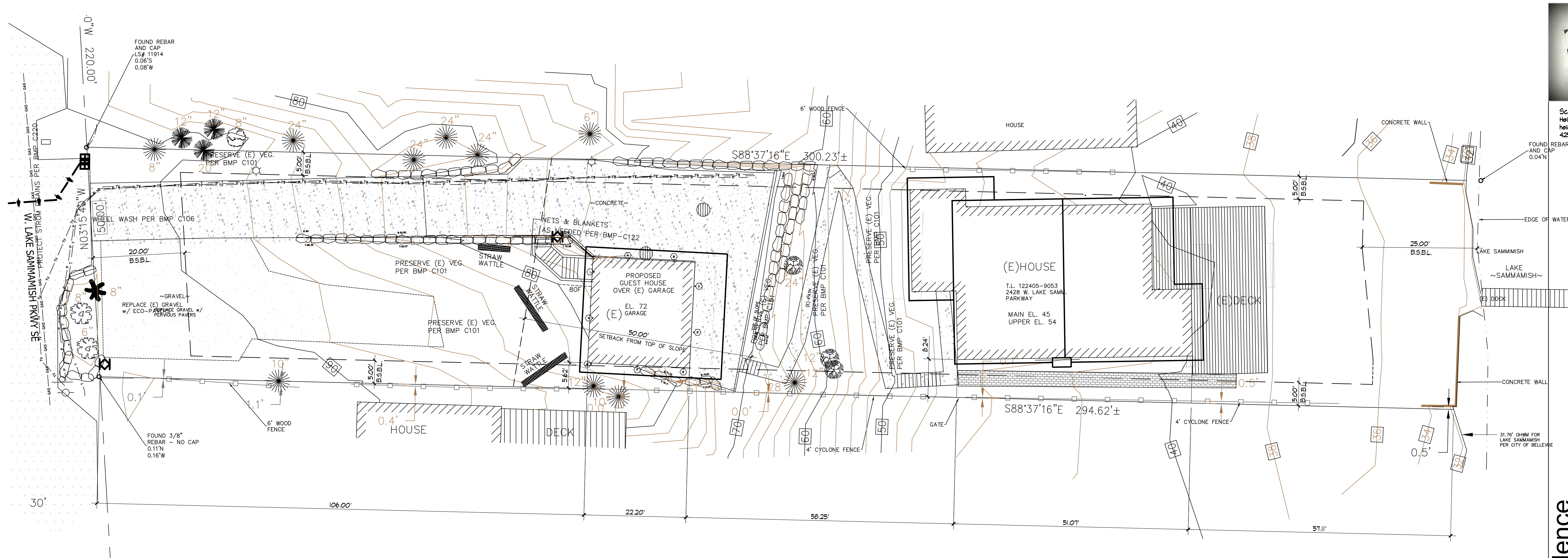
LEGAL DESCRIPTION	
PARCEL NUMBER: 1224059053	
ZONING: R-3.5	
BEGINNING AT THE NORTHWEST CORNER OF GOVERNMENT LOT 1 IN SECTION 12, TOWNSHIP 24 NORTH, RANGE 5 EAST, 11M;	
THENCE EAST, ON SECTION LINE, 486.16 FEET TO THE EAST LINE OF WEST LAKE SAMMAMISH PARKWAY	
SOUTHEAST COUNTY HIGHWAY RIGHT-OF-WAY;	
THENCE SOUTH, ALONG SAID HIGHWAY LINE, 220 FEET TO THE TRUE POINT OF BEGINNING;	
THENCE EAST, PARALLEL WITH THE NORTH SECTION LINE, 206 FEET, MORE OR LESS, TO THE EAST LINE OF SAID LOT;	
THENCE SOUTHERLY ALONG SAID LOT LINE 50 FEET;	
THENCE WEST, PARALLEL WITH THE NORTH SECTION LINE, 206 FEET, MORE OR LESS, TO SAID EAST LINE OF SAID HIGHWAY;	
THENCE NORTH ALONG SAID HIGHWAY LINE 50 FEET TO THE TRUE POINT OF BEGINNING;	
TOGETHER WITH SECOND CLASS SHORELANDS AS CONVEYED BY THE STATE OF WASHINGTON SITUATE IN FRONT OF ADJACENT TO OR ABUTTING THEREON;	
SITUATE IN CITY OF BELLEVUE, COUNTY OF KING, STATE OF WASHINGTON.	
LAKE SAMMAMISH HIGH WATER ELEVATION = 31.76 FEET PER CITY OF BELLEVUE	

CONTACT INFORMATION	
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dwayne@stonepointengineering.com	425-644-4500
GEOTECH: JAMES STRANGE	GEOTECH CONSULTANTS, INC.
james@geotechinc.com	425-141-5618
18256 NE 20th Street, Suite 16, Bellevue WA 98005	
GEOTECH REPORT: JN 15493 Dated: November 12, 2015	



DRAWING INDEX	
SHEET NO.	SHEET TITLE
11	SITE PLAN
1 OF 2	ENCOMPASS BOUNDARY/TOPOGRAPHIC PLAN
2 OF 2	ENCOMPASS BOUNDARY/TOPOGRAPHIC PLAN
5A	STORM WATER PLAN
B	SITE PLAN B
2	FOUNDATION PLAN
3	MAIN FLOOR PLAN
4	UPPER FLOOR FRAMING PLAN
5	UPPER FLOOR
6	ROOF FRAMING PLAN
7	ELEVATIONS & SECTION
5I	STRUCTURAL DETAILS
52	STRUCTURAL DETAILS





LEGEND

- WATER METER
- ⊕ WATER SPIGOT
- ⊘ "NO PARKING" SIGN
- UTILITY POLE
- ☆ LIGHT POLE
- ⊞ YARD DRAIN
- MAILBOX
- ☀ FIR TREE
- 🌳 MAPLE TREE
- 🌲 PINE TREE
- 🌲 CEDAR TREE
- 🌳 ALDER TREE
- 🌳 MADRONA TREE
- WATER LINE
- P — POWER LINE
- T — TELEPHONE LINE
- TV — CABLE TV LINE
- GAS — GAS LINE

STRAW WATTLE
PER BMP C235

NO SIGNIFICANT TREES TO BE DISTURBED OR REMOVED

VEGETATION MGT. & STORM WATER PLAN

NORTH

SCALE: 1"=10'-0"

GRAPHIC SCALE

0 5 10 20 30



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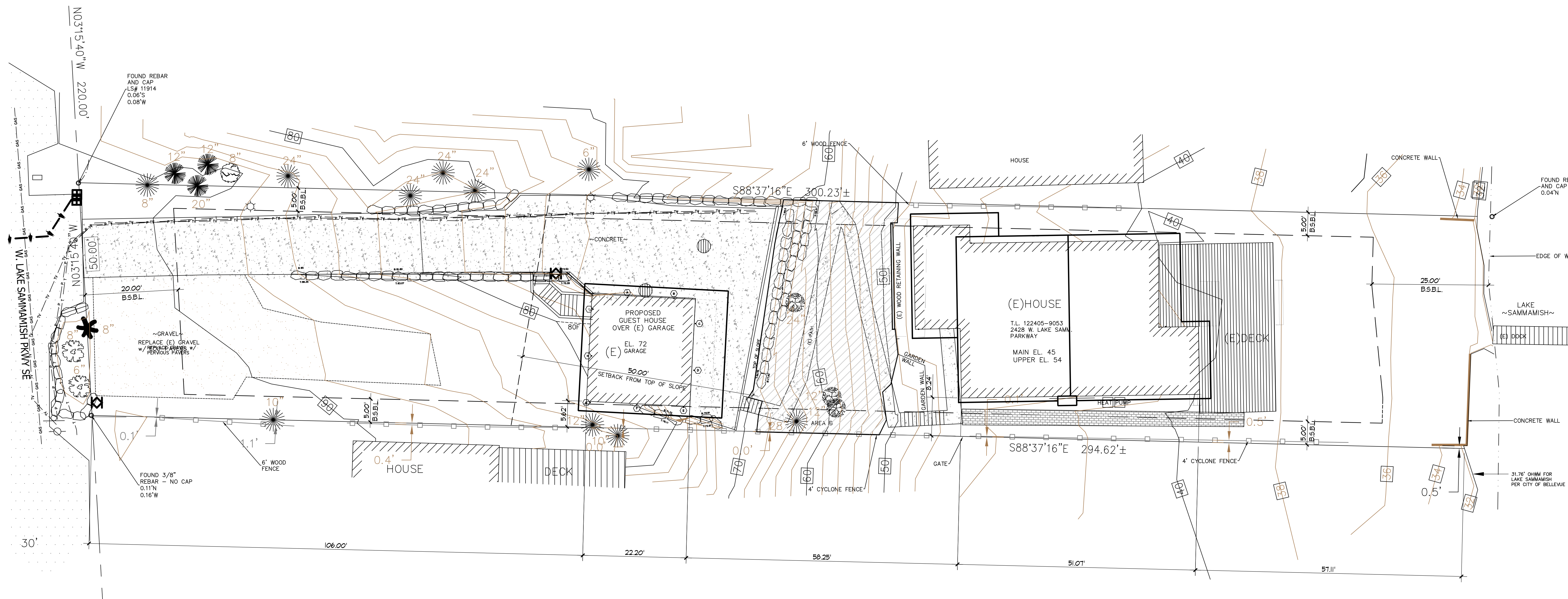
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SW

STORM WATER PLAN



LEGEND

- WATER METER
- WATER SPIGOT
- "NO PARKING" SIGN
- UTILITY POLE
- LIGHT POLE
- YARD DRAIN
- MAILBOX
- FIR TREE
- MAPLE TREE
- PINE TREE
- CEDAR TREE
- ALDER TREE
- MADRONA TREE
- WATER LINE
- POWER LINE
- TELEPHONE LINE
- CABLE TV LINE
- GAS LINE

CRITICAL AREA 40% SLOPE



Existing Garage (north side)



Existing Driveway



Existing Garage (east side)



Existing path to house



4-5' wood retaining wall



Rockeries



Existing path to house



South property line

LEGAL DESCRIPTION

PARCEL NUMBER: 1224059053
ZONING: R-3.5

BEGINNING AT THE NORTHWEST CORNER OF GOVERNMENT LOT 1 IN SECTION 12, TOWNSHIP 24 NORTH, RANGE 5 EAST, R4M;
THENCE EAST, ON SECTION LINE, 186.16 FEET TO THE EAST LINE OF WEST LAKE SAMMAMISH PARKWAY;
THENCE SOUTH, ALONG SAID HIGHWAY LINE, 220 FEET TO THE TRUE POINT OF BEGINNING;
THENCE EAST, PARALLEL WITH THE NORTH SECTION LINE, 206 FEET, MORE OR LESS, TO THE EAST LINE OF SAID LOT;
THENCE SOUTHERLY ALONG SAID LOT LINE 50 FEET, THENCE WEST, PARALLEL WITH THE NORTH SECTION LINE, 206 FEET, MORE OR LESS, TO SAID EAST LINE OF SAID HIGHWAY;
THENCE NORTH ALONG SAID HIGHWAY LINE 50 FEET TO THE TRUE POINT OF BEGINNING;

TOGETHER WITH SECOND CLASS SHORELANDS AS CONVEYED BY THE STATE OF WASHINGTON SITUATE IN FRONT OF, ADJACENT TO OR ABUTTING THEREON;

SITUATE IN CITY OF BELLEVUE, COUNTY OF KING, STATE OF WASHINGTON.

LAKE SAMMAMISH HIGH
WATER ELEVATION = 31.76 FEET
PER CITY OF BELLEVUE

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19256 NE 20th Street, Suite 16, Bellevue WA 98005

GEOTECH REPORT: JN 15493 Dated: November 12, 2015

IMPERVIOUS SURFACE COVERAGE	
ALL ROOFS (INCLD. EAVES) (2121 + 824 garage)	2,945 SF
DRIVEWAY	2,276 SF
200' lower walk, 347' upper walk	547 SF
TOTAL	5,768 SF
GROSS LOT AREA	15,250 SF
PERCENTAGE LOT COVERAGE	38 %
MAX. PERCENTAGE ALLOWED	50 %

NARATIVE

Proposed plan is to add a guest house above the existing garage. The property is located on the east facing slope of West Lake Sammamish. The main house level is at elevation 45 and the current garage is at elevation 72. The critical area is a geologic hazard steep slope of 40% or more that is between the driveway and the house.

The area is approximately 1,590 s.f. and is bordered on the west side with a concrete retaining wall at the edge of the driveway and large rockeries below that. The east side has a 4-5' tall timber wall on the north half of the house and a 30" garden wall on the south half. An existing concrete walkway zig zags down the slope with 2' high brick retaining walls on the up hill side.

The only site disturbance proposed is a new walkway up to the guest house on the west side of the garage.

VICINITY MAP

SITE PLAN B

SCALE: 1"=10'-0"

GRAPHIC SCALE

SD SCHMITTEN DESIGN

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B

SITE PLAN B



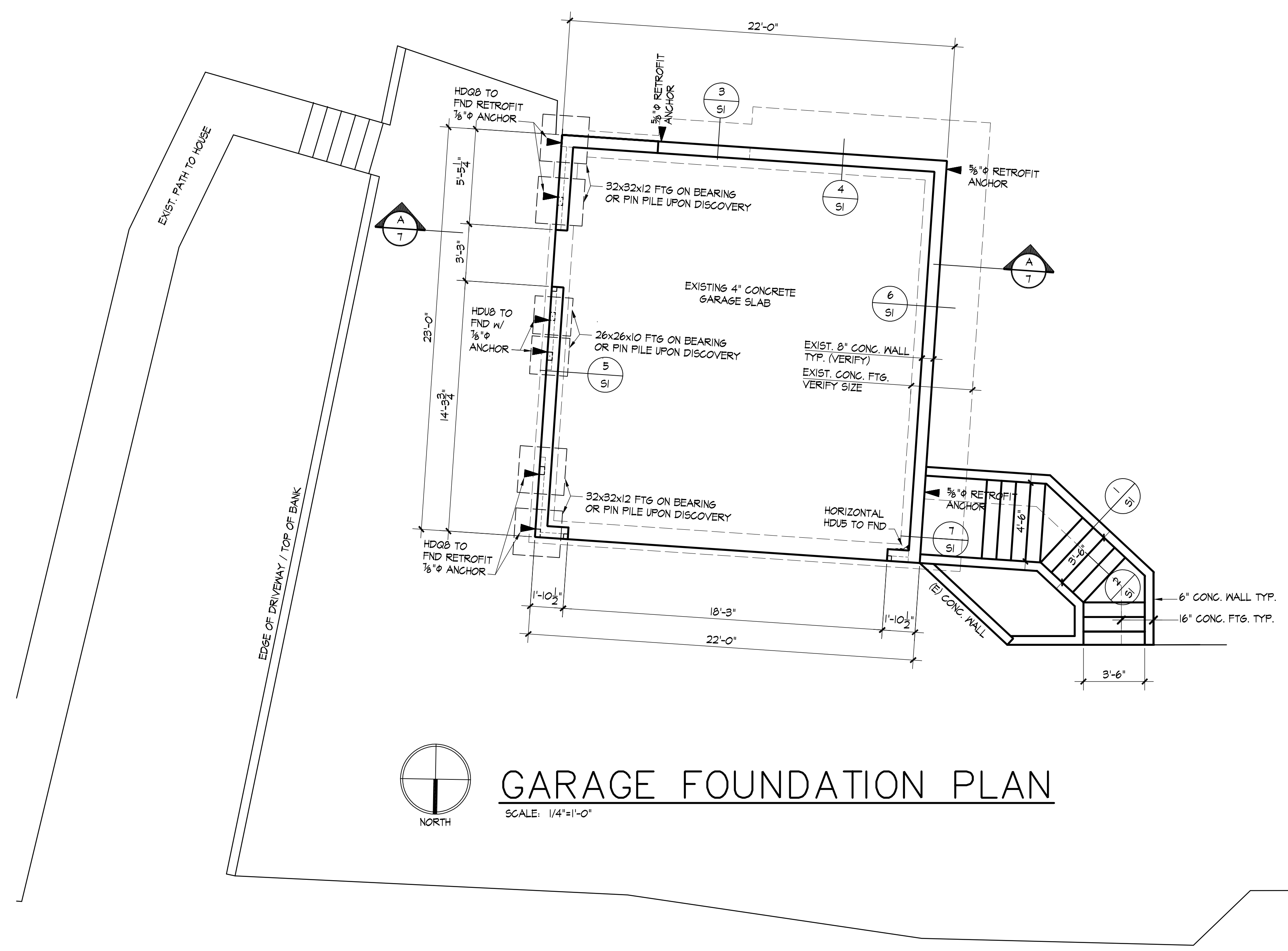
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FOUNDATION NOTES

1. PLANS SHOULD BE REVIEWED BY ALL SUBCONTRACTORS PRIOR TO STARTING CONSTRUCTION. IF DISCREPANCIES EXIST PLEASE CONTACT STONEY POINT ENGINEERING OR OWNER/CONTRACTOR.
2. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALED DIMENSIONS.
3. ALL FOOTINGS TO HAVE A MINIMUM DEPTH OF 18" BELOW FINISH GRADE.
4. ALL CONCRETE FOOTINGS TO REST ON FIRM UNDISTURBED EARTH WITH MINIMUM 2,000 PSF BEARING PRESSURE. REFER TO SOILS REPORT WHEN REQUIRED.
5. STEP FOUNDATION PER SITE CONDITIONS.
6. CONCRETE COMPRESSIVE STRENGTH F'C = 2,500 PSI, GRADE 40 REINFORCEMENT.
7. ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, EARTH, OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
8. VERIFY ALL DIMENSIONS AND FIELD CONDITIONS.
9. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS AND STIFFENINGS HAVE BEEN INSTALLED.
10. JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS ABOVE SHALL BE DOUBLED U.N.O. PROVIDE 2X SOLID BLOCKING BELOW BEARING PARTITIONS WHEN PERPENDICULAR TO JOISTS U.N.O. INSTALL WOOD I-JOISTS PER MFG. RECOMMENDATIONS.

SHEAR WALL NOTES

1. ◀ DENOTES ONE STD#14 OR STD#14RJ HOLD DOWN, UNLESS NOTED OTHERWISE.
2. SEE SHEET S1 & S2 FOR SHEAR WALL NOTES, SCHEDULES, AND TYPICAL DETAILS.

LEGEND

SYMBOL	DESCRIPTION
-----	DENOTES STUD WALLS ABOVE.
■	DENOTES CONCENTRATED LOAD FROM ABOVE. IF LOCATED ON THE EXTERIOR FND. WALL PROVIDE SOLID BLOCKING NEXT TO THE RIM JOIST. AVOID INSTALLING FND. VENTS AT THESE LOCATIONS.



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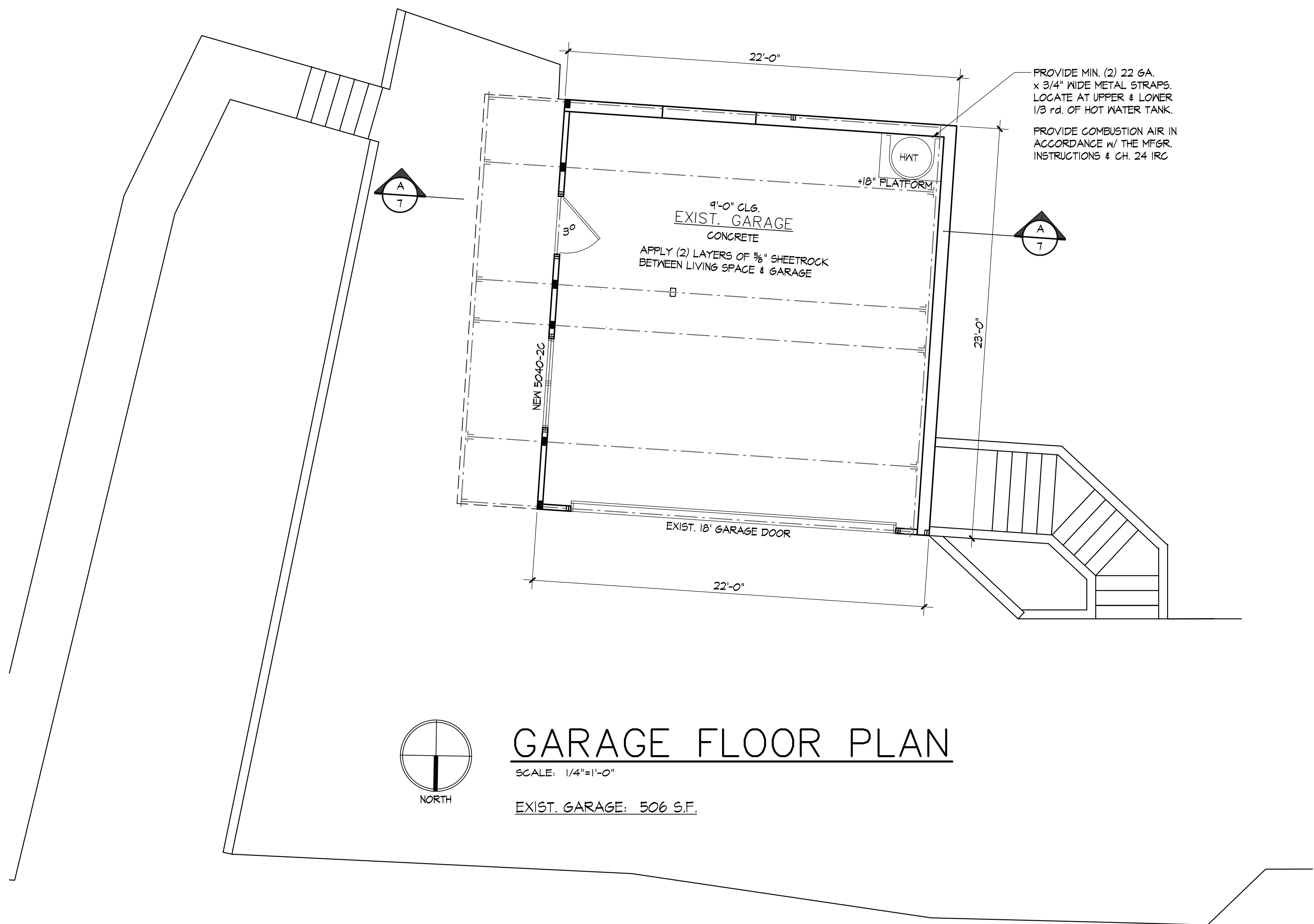
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3

MAIN FLOOR PLAN



GENERAL NOTES

- PLANS SHOULD BE REVIEWED BY ALL SUBCONTRACTORS PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST PLEASE NOTIFY OWNER/CONTRACTOR.
2. WRITTEN DIMENSION TAKE PRECEDENT OVER SCALED DIMENSION.
3. PLATE HEIGHT TO BE 4'-0" THIS FLOOR. VERIFY.
4. TOP OF WINDOW R.O. HEIGHT TO BE 6'-10" THIS FLOOR UNO.
5. SEE UPPER FLOOR FRAMING PLAN FOR WINDOW/DOOR HEADER SIZES.
7. ALL FRAME NAILING TO COMPLY WITH TABLE R602.3(i), 2015 I.R.G. BLOCK ALL APA RATED SHEATHING EDGES AND NAIL WITH 10d AT 6" O.C. TYPICAL, UNO. ON SHEAR WALL SCHEDULE. NAILING INTO PRESSURE TREATED MATERIAL SHALL BE HOT-DIP GALVANIZED PER ASTM A153.
8. JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS ABOVE SHALL BE DOUBLED UNO. PROVIDE 2X SOLID BLOCKING BELOW BEARING PARTITIONS PERPENDICULAR TO JOISTS, UNO. INSTALL WOOD 1-JOISTS PER MFG. SPECIFICATIONS.
9. PROVIDE 2X SOLID BLOCKING AT JOISTS OVER SUPPORTS. SEE MFG. SPECS. FOR WOOD 1-JOISTS.
10. PROVIDE FIRE BLOCKING AT ALL PLUMBING PENETRATIONS AND WALL/ROOF INTERSECTIONS.
11. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE BY NO LESS THAN 1/2 INCH 6/M.B. APPLIED TO THE GARAGE SIDE. LIVING AREAS ABOVE THE GARAGE SHALL BE SEPARATED FROM THE GARAGE WITH NO LESS THAN 5/8 INCH-TYPE X 6/M.B. ALL SUPPORTING STRUCTURE SHALL BE PROTECTED BY NO LESS THAN 1/2 INCH 6/M.B.
12. FINISH ALL CEILINGS WITH 5/8" TYPE "X" 6/M.B. WHERE JOISTS ARE SPACED GREATER THAN 16".
13. PROVIDE 36 GA GALVANIZED SHEET METAL FLASHING ABOVE WINDOWS AND DOORS, LAP BUILDING PAPER OVER.
14. INSTALL SIDING 6" ABOVE FINISH GRADE.
15. WINDOWS TO BE SPECIFIED BY CONTRACTOR. VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION.
16. ALL CONCEALED VOIDS TO BE FIRE AND DRAFT STOPPED PER SECTION R602.8, 2015 I.R.G..
17. ENGINEERED LUMBER SPECIFIED SHALL MEET OR EXCEED THE DESIGN STRESS VALUES INDICATED ON SHEET S1. INSTALL PER MFG. RECOMMENDATIONS. THESE DRAWINGS ONLY SHOW SIZE, SPAN, AND SPACING.
18. ALL DOORS TO BE 6'10" HIGH UNO.
19. PROVIDE ELECTRIC ILLUMINATION AT OUTSIDE DOORS SWITCHED FROM INSIDE.
20. A MIN. OF 75% OS PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER MCEC R404.1



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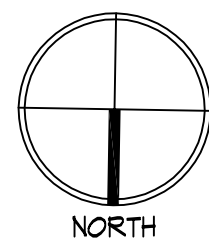
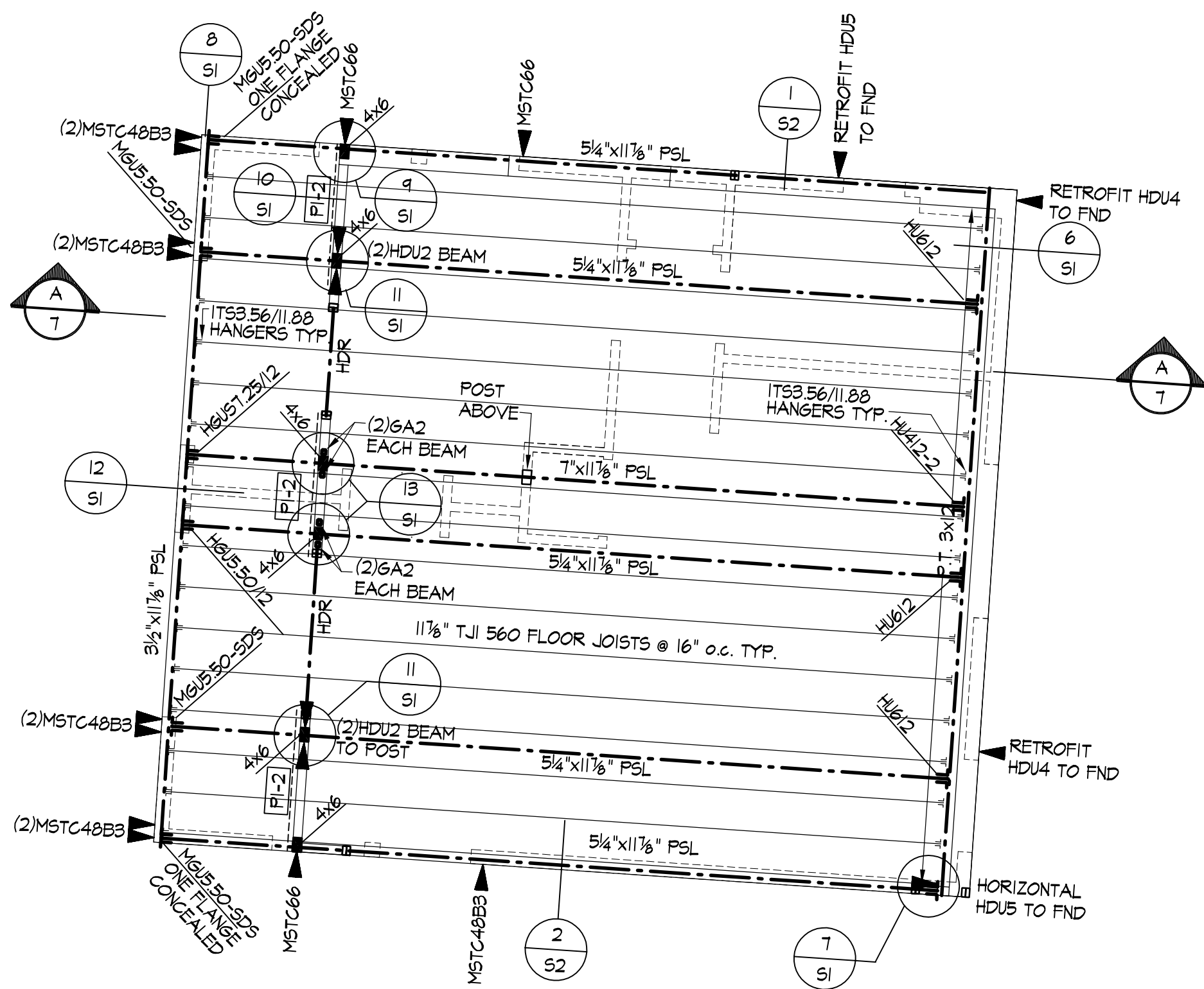
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4

UPPER FLR. FRAMI





GARAGE UPPER FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES

1. PLANS SHOULD BE REVIEWED BY ALL SUBCONTRACTORS PRIOR TO STARTING CONSTRUCTION. IF DISCREPANCIES EXIST PLEASE NOTIFY OWNER/CONTRACTOR.
2. WRITTEN DIMENSION TAKE PRECEDENT OVER SCALED DIMENSION.
3. ALL HEADERS TO BE 4x8 DFW #1, TYPICAL, U.N.O.
4. ALL EXTERIOR WALLS TO BE FRAMED WITH 2x6 H.F. (STUD GRADE OR BETTER). PROVIDE R-21 BATT INSULATION MINIMUM, U.O.
5. ALL FRAME NAILING TO COMPLY WITH TABLE R602.3(1), 2015 I.R.C. BLOCK ALL APA RATED SHEATHING EDGES AND NAIL WITH 10d AT 6" O.C. TYPICAL, U.N.O. ON SHEAR WALL SCHEDULE. NAILING INTO PRESSURE TREATED MATERIAL SHALL BE HOT-DIP GALVANIZED PER ASTM A153.
6. JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS ABOVE SHALL BE DOUBLED UP. PROVIDE 2X SOLID BLOCKING BELOW BEARING PARTITIONS PERPENDICULAR TO JOISTS, U.O. INSTALL WOOD 1-JOISTS PER MFG. SPECIFICATIONS.
7. PROVIDE 2X SOLID BLOCKING AT JOISTS OVER SUPPORTS. SEE MFG. SPECS. FOR WOOD 1-JOISTS.
8. PROVIDE FIRE BLOCKING AT ALL PLUMBING PENETRATIONS AND WALL/ROOF INTERSECTIONS.
9. METAL FRAMING CONNECTORS SPECIFIED ARE MANUFACTURED BY THE SIMPSON COMPANY. SEE LATEST CATALOG EDITION. INSTALL PER SPECIFICATIONS. USE ONLY EQUIVALENT SUBSTITUTIONS.
10. ALL METAL CONNECTORS SUPPORTED BY PRESSURE TREATED MATERIAL SHALL BE "ZMAX" (G185 HDG PER ASTM A653) OR EQUIVALENT AND FASTENERS PER ASTM A153.
11. ALL CONCEALED VOIDS TO BE FIRE AND DRAFT STOPPED PER SECTION R602.8, 2015 I.R.C.
12. ENGINEERED LUMBER SPECIFIED SHALL MEET OR EXCEED THE DESIGN STRESS VALUES INDICATED ON SHEET S1 & S2. INSTALL PER MFG. RECOMMENDATIONS. THESE DRAWINGS ONLY SHOW SIZE, SPAN, AND SPACING.

SHEAR WALL NOTES

1.  DENOTES EXTENT OF SHEAR WALL.
2.  DENOTES SHEAR WALL MARK. MARK IS ON SIDE OF WALL TO BE SHEATHED IF ONE SIDE IS INDICATED.
3. ALL EXTERIOR WALLS ARE TYPE PI-6 SHEAR WALL, U.N.O.
4. SEE SHEET S1 & S2, FOR SHEAR WALL NOTES, SCHEDULE, AND TYPICAL DETAILS.



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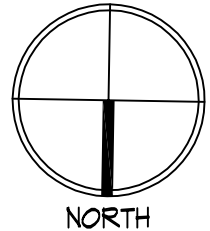
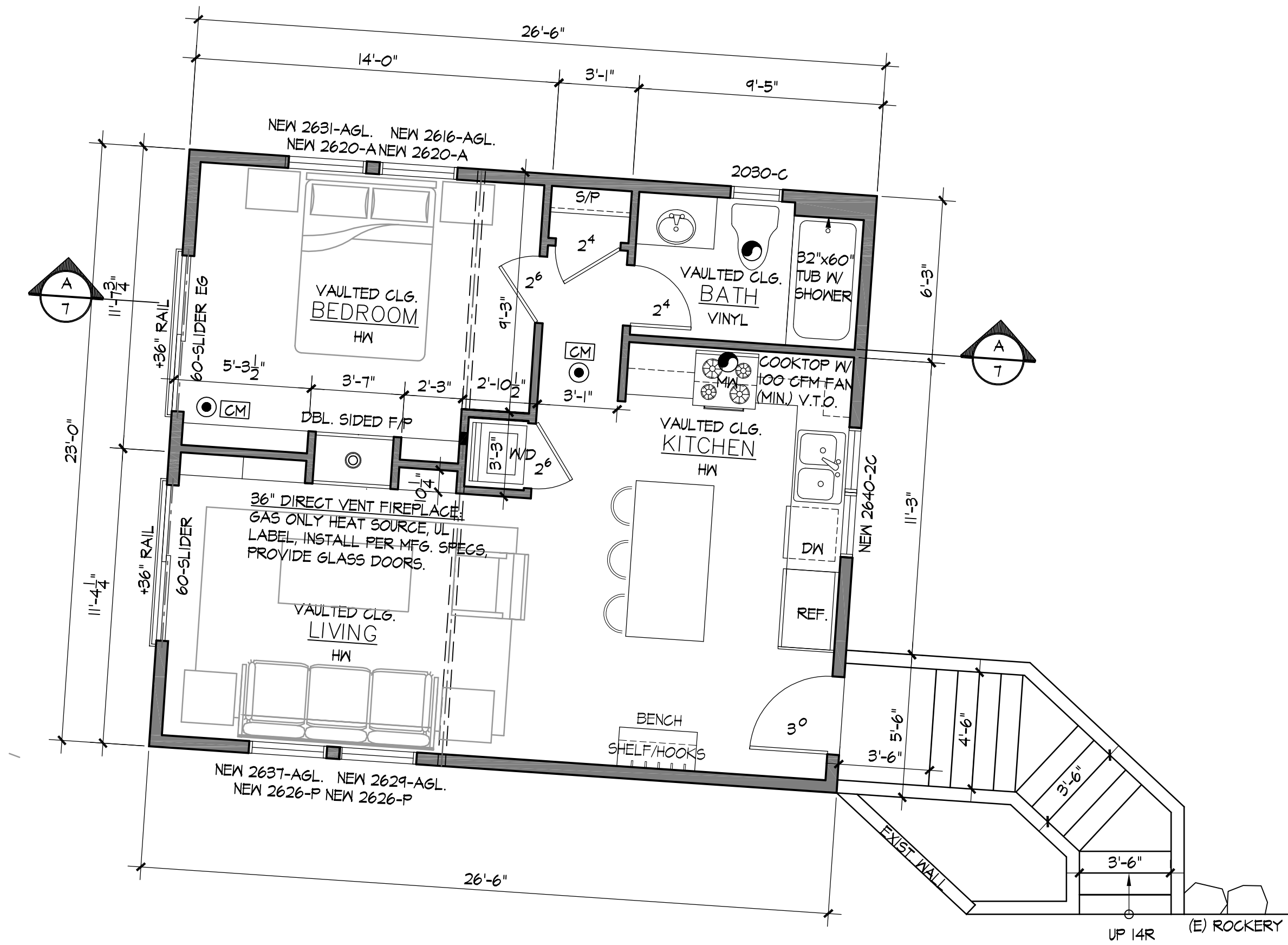
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2. WRITTEN DIMENSION TAKE PRECEDENT OVER SCALED DIMENSION.
3. PLATE HEIGHT TO BE 8'-1" THIS FLOOR UNO.
4. TOP OF WINDOW R.O. HEIGHT TO BE 6'-10" THIS FLOOR UNO.
5. SEE ROOF FRAMING PLAN FOR WINDOW/DOOR HEADER SIZES.
6. ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 H.F. (STUD GRADE OR BETTER). PROVIDE R-21 BATT INSULATION MINIMUM, UNO.
7. ALL FRAME NAILING TO COMPLY WITH TABLE R602.3(1), 2015 I.R.C. BLOCK ALL APA RATED SHEATHING EDGES AND NAIL WITH 10d AT 6" O.C. TYPICAL, UNO. ON SHEAR WALL SCHEDULE. NAILING INTO PRESSURE TREATED MATERIAL SHALL BE HOT-DIP GALVANIZED PER ASTM A153.
8. JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS ABOVE SHALL BE DOUBLED UNO. PROVIDE 2X SOLID BLOCKING BELOW BEARING PARTITIONS PERPENDICULAR TO JOISTS, UNO. INSTALL WOOD I-JOISTS PER MFG. SPECIFICATIONS.
9. PROVIDE 2X SOLID BLOCKING AT JOISTS OVER SUPPORTS. SEE MFG. SPECS. FOR WOOD I-JOISTS.
10. PROVIDE FIRE BLOCKING AT ALL PLUMBING PENETRATIONS AND WALL/ROOF INTERSECTIONS.
11. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN 1/2 INCH G.A.B. APPLIED TO THE GARAGE SIDE. LIVING AREAS ABOVE THE GARAGE SHALL BE SEPARATED FROM THE GARAGE WITH NO LESS THAN 5/8 INCH TYPE X G.A.B. ALL SUPPORTING STRUCTURE SHALL BE PROTECTED BY NO LESS THAN 1/2 INCH G.A.B.
12. FINISH ALL CEILINGS WITH 5/8" TYPE "X" G.A.B. WHERE JOISTS ARE SPACED GREATER THAN 16"
13. PROVIDE 26 GA GALVANIZED SHEET METAL FLASHING ABOVE WINDOWS AND DOORS, LAP BUILDING PAPER OVER.
14. INSTALL SIDING 6" ABOVE FINISH GRADE.
15. WINDOWS TO BE SPECIFIED BY CONTRACTOR. VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION.
16. ALL CONCEALED VOIDS TO BE FIRE AND DRAFT STOPPED PER SECTION R602.8, 2015 I.R.C..
17. ALL TUBS AND SHOWER STALLS:
A) FIRE BLOCK BETWEEN STUDS
B) LIMIT SHOWER FLOW TO 2.5 GPM.
C) WALLS SHALL BE WATERPROOFED TO A MIN. OF 10" ABOVE DRAIN INLET.
D) ALL GLAZING, INCLUDING WINDOWS, WITHIN 10" OF DRAIN INLET SHALL BE SAFETY GLAZING.
18. ENGINEERED LUMBER SPECIFIED SHALL MEET OR EXCEED THE DESIGN STRESS VALUES INDICATED ON SHEET S1. INSTALL PER MFG. RECOMMENDATIONS. THESE DRAWINGS ONLY SHOW SIZE, SPAN, AND SPACING.
19. DIRECT VENT FIREPLACE: GAS ONLY HEAT SOURCE. UL LABEL. INSTALL PER MFG. SPECIFICATIONS. PROVIDE GLASS DOORS. WRAP INSIDE OF BOX & UNDERSIDE OF LID WITH 5/8" TYPE X G.A.B. PRIOR TO INSTALLATION.
20. (SD) DENOTES 110 VOLT SMOKE DETECTOR WITH BATTERY BACK-UP AND INTERCONNECTED.
- (CM) DENOTES CARBON MONOXIDE DETECTOR AS REQUIRED
21. (EF) DENOTES 50 CFM EXHAUST FAN VENTED TO OUTSIDE.
22. ALL DOORS TO BE 6'-10" HIGH UNO.
23. PROVIDE ELECTRIC ILLUMINATION AT OUTSIDE DOORS SWITCHED FROM INSIDE.
24. ELECTRIC BASE BOARD HEATING.
25. A MIN. OF 75% OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS PER WSEC R404.1



GARAGE UPPER PLAN

SCALE: 1/4"=1'-0"
LIVING SPACE: 610 S.F.

GENERAL NOTES

- 1. PROVIDE CONTINUOUS METAL GUTTERS, TYPICAL.
- 2. PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTER-FLASHING AT ALL ROOF PENETRATIONS INCLUDING CHIMNEYS.
- 3. PROVIDE WEATHERSTRIPPING AT ALL DOOR AND WINDOWS. CAULK ALL JOINTS AND PENETRATIONS IN EXTERIOR WALLS.

ROOF CONSTRUCTION

- 1. STANDING SEAM METAL ROOF w/ 16 oz FLASHING
- 2. (2)LAYERS ICE & WATER SHIELD
- 3. APA RATED ROOF SHEATHING. SEE STRUCTURAL NOTES SHEET S1
- 4. RAFTERS, TRUSSES, CEILING JOISTS PER PLAN
- 5. R-30 BATTS OR BLOW-IN INSULATION IN ATTICS AND R-30 BATTS IN VAULTED CEILINGS
- 6. 5/8" GYPSUM WALL BOARD

WALL CONSTRUCTION

- 1. FINISH WALL MATERIAL PER ELEVATIONS
- 2. 60 MINUTE BUILDING PAPER MINIMUM
- 3. APA RATED WALL SHEATHING. SEE STRUCTURAL NOTES SHEET S1
- 4. 2x6 STUDS 16" O.C., TYPICAL UNLESS NOTED OTHERWISE
- 5. R-21 BATT INSULATION
- 6. 1/2" GYPSUM WALL BOARD

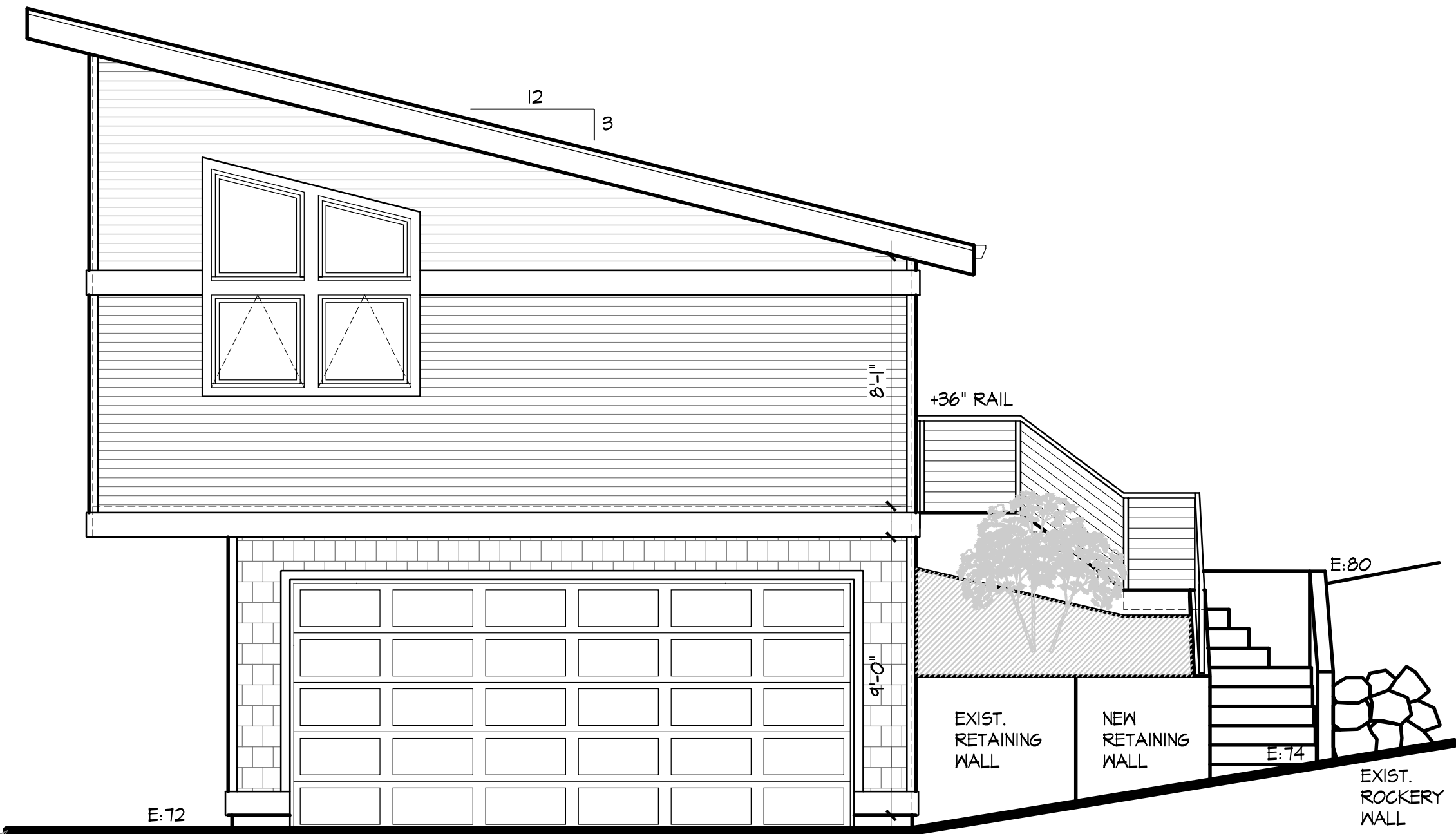
FLOOR CONSTRUCTION

- 1. FINISH FLOOR PER PLAN
- 2. 3/4" TONGUE & GROOVE APA RATED FLOOR SHEATHING, GLUED & NAILED
- 3. FLOOR JOISTS PER PLAN
- 4. R-30 BATT INSULATION OVER UNHEATED SPACES



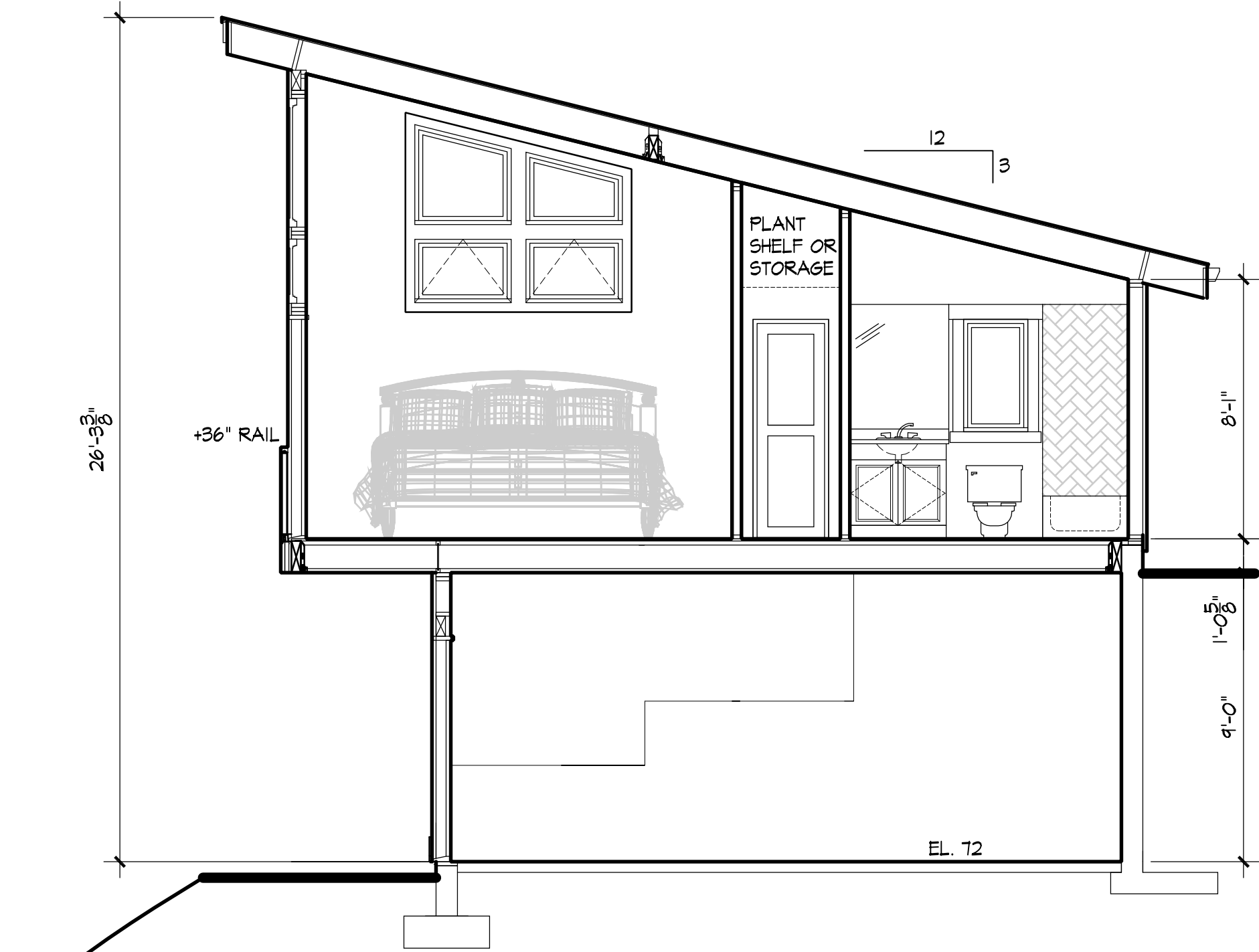
GARAGE FRONT ELEVATION

SCALE: 1/4"=1'-0"



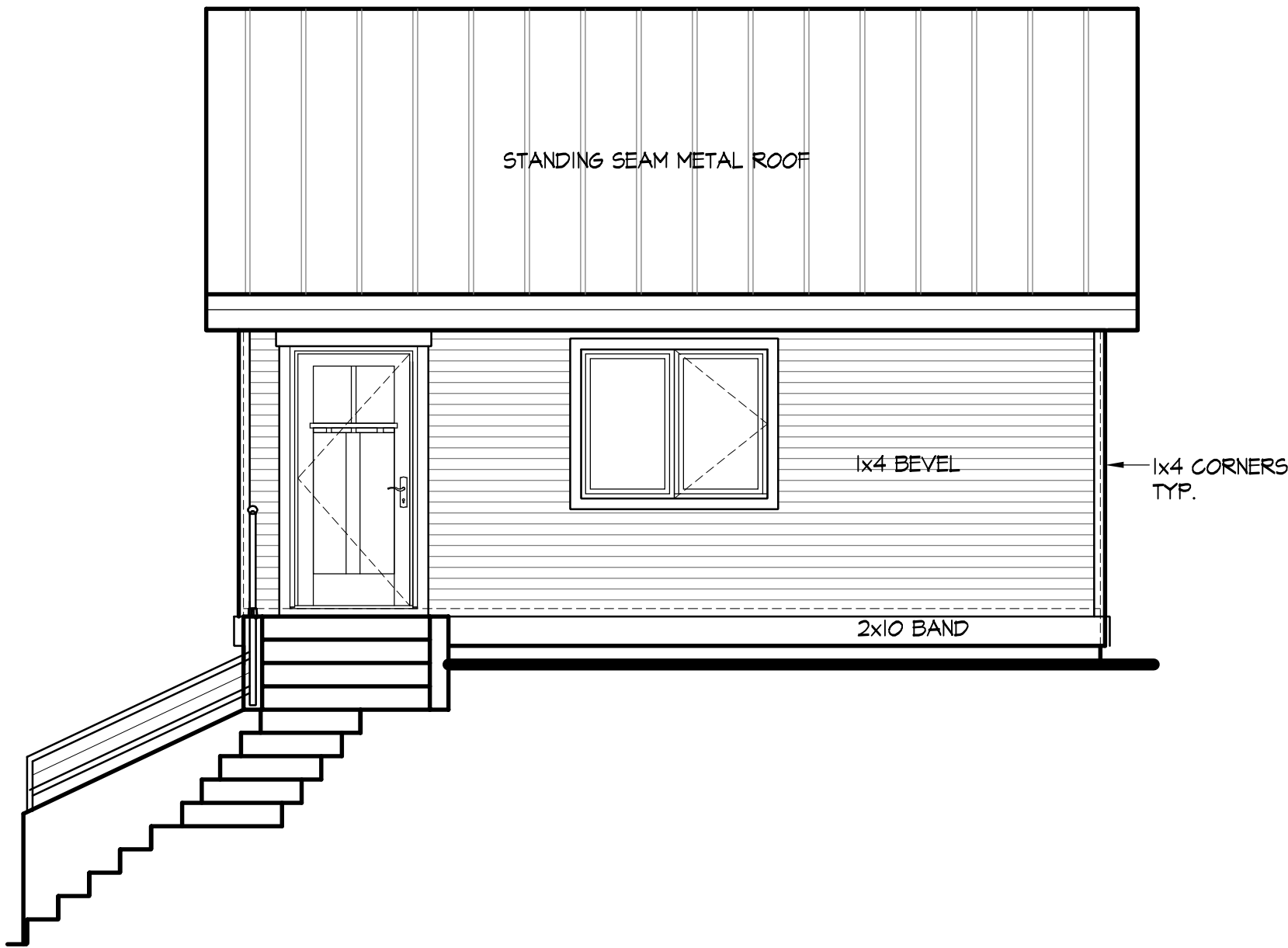
GARAGE LEFT ELEVATION

SCALE: 1/4"=1'-0"



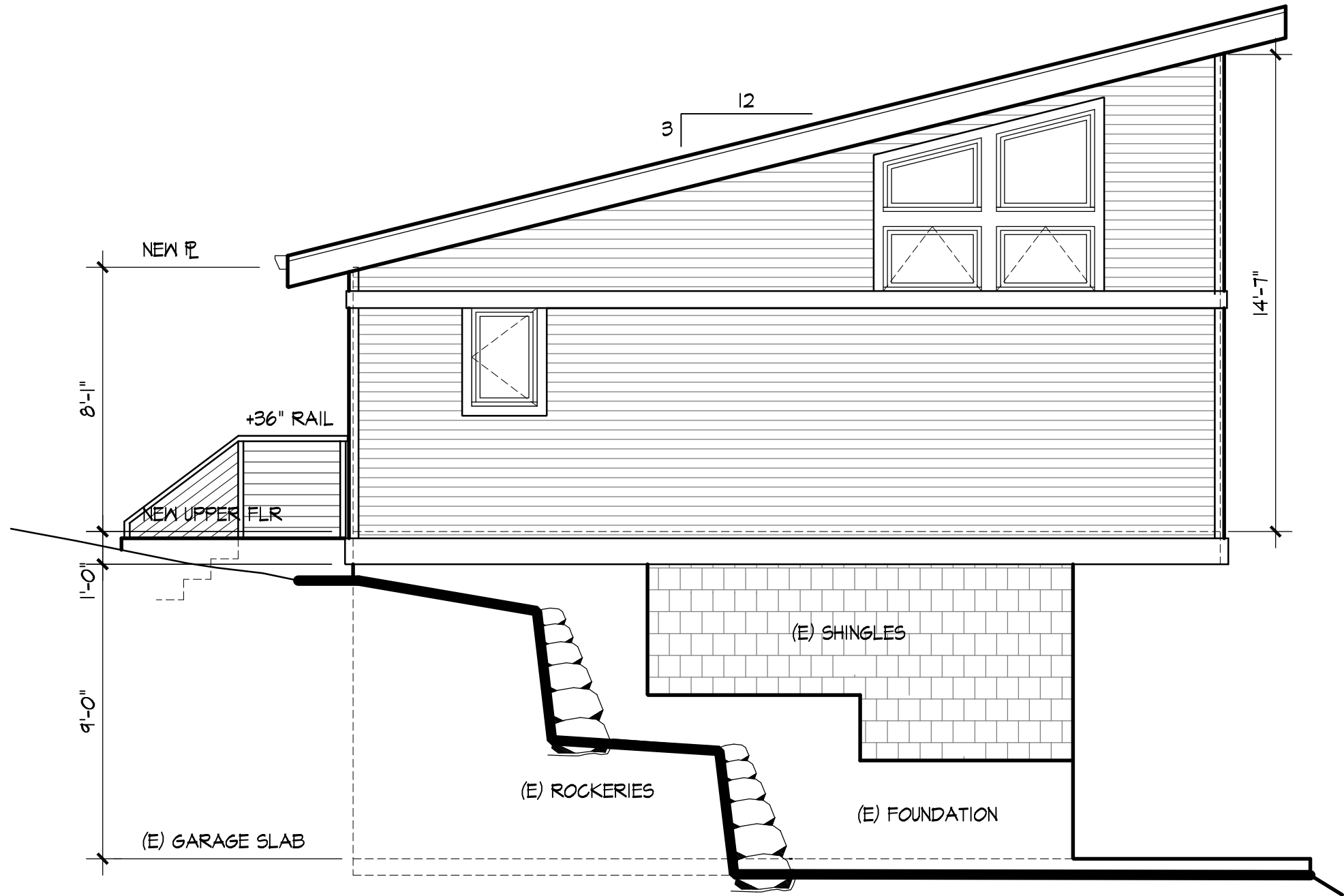
SECTION AA

SCALE: 1/4"=1'-0"



GARAGE REAR ELEVATION

SCALE: 1/4"=1'-0"



GARAGE RIGHT ELEVATION

SCALE: 1/4"=1'-0"